

GENERAL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY IBC 2021 EDITION AND SHALL CONFORM TO ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE ILLINOIS ACCESSIBILITY CODE (2018) AND THE AMERICANS WITH DISABILITIES ACT.

A. GENERAL NOTES

- 1. ALL CONTRACTORS ARE REQUIRED TO VISIT THE SITE AND BE KNOWLEDGEABLE REGARDING EXISTING CONDITIONS AND THEIR EFFECT ON THE PROPOSED WORK. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE PROJECT.
2. NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO THE INTERRUPTION OF ANY UTILITY.
3. PROTECT AND KEEP IN SERVICE ACTIVE UNDERGROUND UTILITIES, PIPES, OR CONDUITS, WHETHER INDICATED ON THE DRAWINGS OR NOT, UNLESS SPECIFICALLY CALLED FOR TO BE REMOVED, RELOCATED, OR DISCONNECTED AND ABANDONED.
4. CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH THAT OF OTHER TRADES.
5. NO WORK WILL BE PERMITTED TO BE INSTALLED WITHOUT RECEIPT AND SUBSEQUENT REVIEW OF FULL AND COMPLETE SUBMITTALS BY THE ARCHITECT/ENGINEER.
6. DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED TAKE PRECEDENCE OVER SCALE.
7. VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD. WHERE DISCREPANCIES ARE FOUND BETWEEN DIMENSIONS OR ELEVATIONS SHOWN AND ACTUAL FIELD CONDITIONS, NOTIFY ARCHITECT/ENGINEER.
8. WHERE CONFLICTS MAY EXIST BETWEEN THE REQUIREMENTS OF PORTIONS OF THE CONTRACT DOCUMENTS, THE GREATER QUANTITY, HIGHER QUALITY OR MORE STRINGENT REQUIREMENT SHALL GOVERN. THEREFORE, BY EXECUTING A CONTRACT FOR CONSTRUCTION, THE CONTRACTOR AGREES THAT, IF IT RAISES NO QUESTIONS REGARDING SUCH CONFLICTS DURING THE BIDDING PROCESS, AND IN THE ABSENCE OF A CLARIFYING ADDENDUM ISSUED DURING THE BIDDING PROCESS, IT HAS VOLUNTEERED TO COMPLY WITH THE MORE EXPENSIVE REQUIREMENT AS PART OF ITS BASE BID AND IS NOT ENTITLED TO ANY ADDITIONAL COMPENSATION TO RESOLVE THE CONFLICT.
9. THE CONTRACT DOCUMENTS REQUIRE THE CONTRACTOR TO FURNISH AND INSTALL COMPLETE PRODUCTS, SYSTEMS AND SERVICES BY EXECUTING A CONTRACT FOR CONSTRUCTION. THE CONTRACTOR AGREES THAT THE DRAWINGS SET FORTH THE DESIGN INTENT AND, THEREFORE, MAY NOT EXPRESSLY DEPICT EVERY LENGTH, SEGMENT, PIECE, PART, COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE. THE CONTRACTOR FURTHER AGREES THAT, AS PART OF ITS BID, IT MUST FURNISH AND INSTALL EVERY LENGTH, SEGMENT, PIECE, PART, COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE AND, CONSEQUENTLY, THE CONTRACTOR IS NOT ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY LENGTH, SEGMENT, PIECE, PART COMPONENT OR UNIT OF A PRODUCT, SYSTEM OR SERVICE BECAUSE IT IS NOT EXPRESSLY DEPICTED HEREIN.
10. IN ACCORDANCE WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), SECTION C401.3, PROVIDE A PERMANENT THERMAL ENVELOPE CERTIFICATE. POST THE CERTIFICATE IN A MECHANICAL ROOM OR OTHER LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT. INCLUDE A COPY OF THE CERTIFICATE IN THE OPERATION AND MAINTENANCE MANUAL PROVIDED AT PROJECT CLOSEOUT. SEE SPECIFICATION SECTION 0178 00 - CLOSEOUT SUBMITTALS FOR ADDITIONAL INFORMATION.

B. MISCELLANEOUS AND DEMOLITION NOTES

- 1. COORDINATE PENETRATIONS AND/OR SLEEVES REQUIRED IN WALLS, FLOORS, CEILING OR ROOFS FOR MECHANICAL AND ELECTRICAL WORK REQUIRED BY ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
2. SEAL WITH UL APPROVED MATERIALS PENETRATIONS OF DUCTWORK, CONDUIT AND PIPES THROUGH FIRE-RATED ASSEMBLIES TO MAINTAIN THE RATING INTEGRITY OF THOSE ASSEMBLIES. PROVIDE FIRE DAMPERS AS INDICATED ON THE DRAWINGS.
3. SEAL WITH ACOUSTICAL SEALANT PENETRATIONS OF DUCTWORK, CONDUIT AND PIPES THROUGH NON-RATED FLOORS, FULL-HEIGHT WALLS/PARTITIONS, ACOUSTICALLY INSULATED WALLS/PARTITIONS, AND SOUND-RATED WALLS/PARTITIONS, TO MAINTAIN THE ACOUSTICAL INTEGRITY OF THOSE ASSEMBLIES.
4. APPLY APPROPRIATE & COMPATIBLE SEALANT MATERIALS AS REQUIRED TO SEPARATE DISSIMILAR METALS. FILL GAPS IN EXISTING ASSEMBLIES OR WHERE NEW AND EXISTING ASSEMBLIES MEET OR WHERE OTHERWISE REQUIRED BY THE SPECIFICATIONS.
5. BRING ANY UNFORESEEN OR CONFLICTING CONDITIONS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. REPAIR, PATCH, OR REPLACE FINISH MATERIALS OR VISIBLE ASSEMBLIES THAT ARE SOLED, CUT OR DAMAGED IN ANY FASHION DURING THE COURSE OF THE WORK. PERFORM PATCHING SUCH THAT EDGES BLEND INTO CONTIGUOUS SURFACES SMOOTHLY, MATCHING TEXTURE AND COLOR OF ADJACENT SURFACES.

STANDARD ABBREVIATIONS

Table with 6 columns: Symbol, Abbreviation, Existing, Demolition, Piece, and Material. Includes symbols like @, A, B, ABR, ACP, ACT, etc., and their corresponding full names and material types.

THE MATERIALS, ABBREVIATIONS, AND DRAFTING SYMBOLS LEGEND ARE EACH AN ALL INCLUSIVE MASTER LIST USED BY THIS FIRM. THE INCLUSION OF THESE LEGENDS INTO THESE DOCUMENTS DOES NOT IMPLY THAT ALL THE SYMBOLS OR MATERIALS INCLUDED IN THESE LEGENDS ARE INCORPORATED INTO THIS PROJECT. ABBREVIATIONS MAY APPEAR WITH PERIODS OR OTHER PUNCTUATION SEPARATING CHARACTERS ON THE DRAWINGS; THE MEANING REMAINS THE SAME.

DRAFTING SYMBOLS AND MATERIALS LEGEND. Table with 2 columns: Symbol/Description and Material. Includes symbols for Detail Callout, Exterior Elevation, Interior Elevation, Section Reference, Column No., Reference Line No., Location Elevation, Room Number, Door No., Nominal Thickness, Keynote, Window Type, Toilet Accessory, Spot Elevation, Fire-Rating, and various material patterns like Concrete, Brick Masonry, Stone Masonry, Steel, etc.

DRAFTING SYMBOLS AND MATERIALS LEGEND



PROJECT

OAK BROOK TENNIS CENTER WINDOW REPLACEMENT 1300 FOREST GATE ROAD OAK BROOK, ILLINOIS 60523

OWNER

OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, ILLINOIS 60523

ARCHITECT/ENGINEER

KLUBER ARCHITECTS + ENGINEERS 41 W BENTON STREET AURORA, ILLINOIS 60506 TEL (630) 406-1213 FAX (630) 406-9472 www.kluberinc.com

ISSUED FOR BID

REQUIRED CODE COMPLIANCE INFORMATION

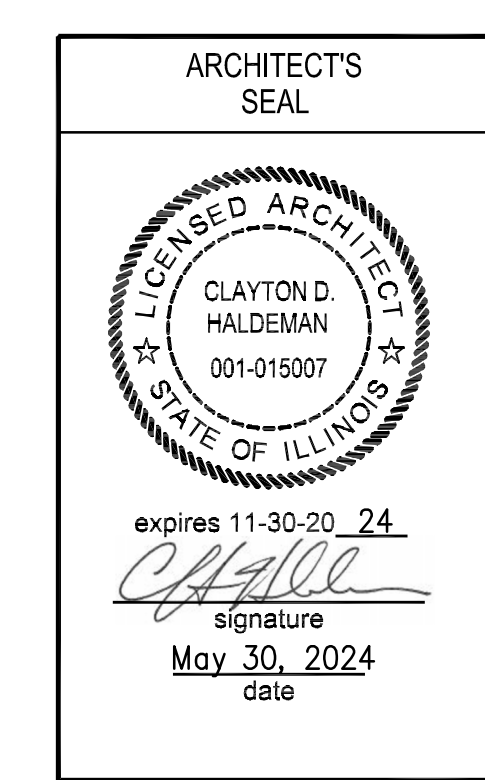
REQUIRED PLAN COVER SHEET INFORMATION FOR REVIEW UNDER 2021 INTERNATIONAL CODES, STATE OF ILLINOIS ACCESSIBILITY CODE, AND THE STATE OF ILLINOIS PLUMBING CODE CODE REVIEW DATA

GENERAL STATEMENT OF OVERALL PROJECT SCOPE AND INTENT: PROJECT CONSISTS OF INTERIOR ALTERATIONS AND REMODELING TO AN EXISTING TWO-STORY RECREATIONAL BUILDING. BUILDING COMPONENTS AND SYSTEMS MODIFIED OR REPLACED AS PART OF THE WORK OF THIS PROJECT HAVE BEEN BROUGHT UP TO MEET THE REQUIREMENTS OF THE APPLICABLE CURRENT CODES. THE AREAS ALTERED FOR OFFICE USE ARE CLASSIFIED AS GROUP A, B, M.

- A. USE AND OCCUPANCY GROUP(S) CLASSIFICATION: A, B, M.
B. TYPE OF CONSTRUCTION: IIB
C. OCCUPANT LOAD BASED ON INTERNATIONAL BUILDING CODE: NOT APPLICABLE; NO CHANGE OF OCCUPANCY OR USE.
D. OCCUPANT LOAD BASED ON ILLINOIS PLUMBING CODE: NOT APPLICABLE; NO CHANGE OF OCCUPANCY OR USE.
E. DESIGNED LIVE LOADS: NOT APPLICABLE; THIS IS AN EXISTING BUILDING, TO WHICH NO MODIFICATIONS ARE BEING MADE TO STRUCTURAL COMPONENTS.
F. THE DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE ARE IDENTIFIED IN THE SEALS AND CERTIFICATES AREA, BELOW.

SEALS & CERTIFICATIONS

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH IBC 2021 EDITION, THE ENVIRONMENTAL BARRIERS ACT AND THE ILLINOIS ACCESSIBILITY CODE.



KLUBER, INC. ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE #184-001284

INDEX OF DRAWINGS

Table with 2 columns: Drawing Number and Description. Includes G100 COVER SHEET, GENERAL NOTES, SYMBOLS, & DRAWING INDEX; A300 FLOOR & DEMOLITION PLANS; A700 SECTION DETAILS & WINDOW TYPE ELEVATIONS; A710 PLAN DETAILS.



OAK BROOK TENNIS CENTER WINDOW REPLACEMENT OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, ILLINOIS 60523

APPLICABLE CODES

- 2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL PROPERTY MAINTENANCE CODE
2021 INTERNATIONAL EXISTING BUILDING CODE
LOCAL AMENDMENTS TO THE ABOVE CODES
2021 ILLINOIS ENERGY CONSERVATION CODE (2021 INTERNATIONAL ENERGY CONSERVATION CODE W/STATE AMENDMENTS)
2018 ILLINOIS ACCESSIBILITY CODE

Table with 2 columns: Date and Status. Shows dates from 05/30/24 to 06/03/24 and status 'ISSUED FOR BID'.

Table with 2 columns: Field and Value. Includes JOB NO. 24-310-1543, DRAWN NCO, CHECKED CDJ, APPROVED CDH.

SHEET TITLE COVER SHEET, GENERAL NOTES, SYMBOLS AND DRAWING INDEX

SHEET NUMBER G100

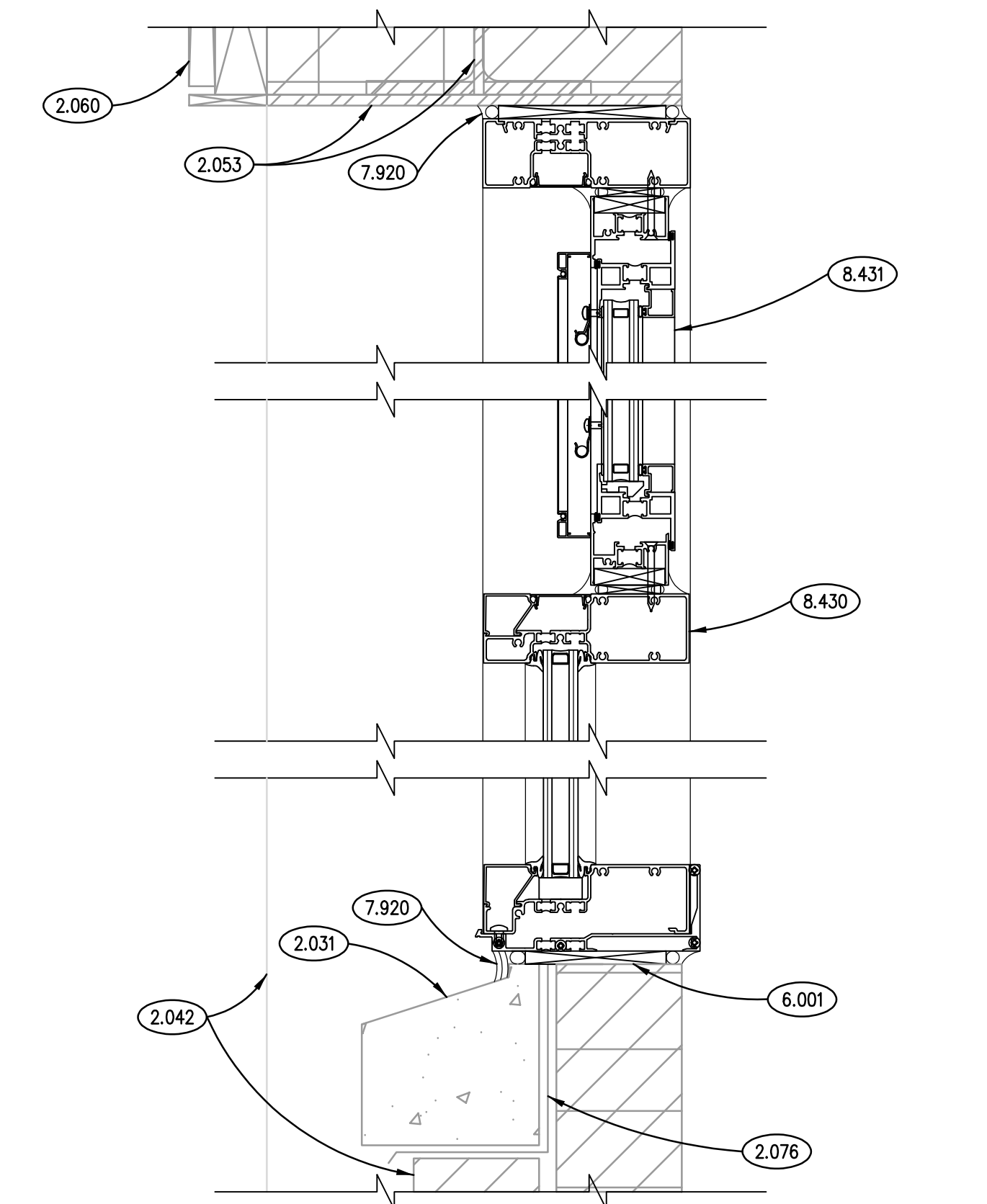
KEYNOTES

KEYNOTES ARE TYPICALLY NOT DUPLICATED WITHIN A GIVEN DETAIL. AN UNKEYNOTED ITEM IN A DETAIL IS THE SAME AS A KEYNOTED ITEM HAVING THE SAME APPEARANCE WITHIN THE SAME DETAIL.

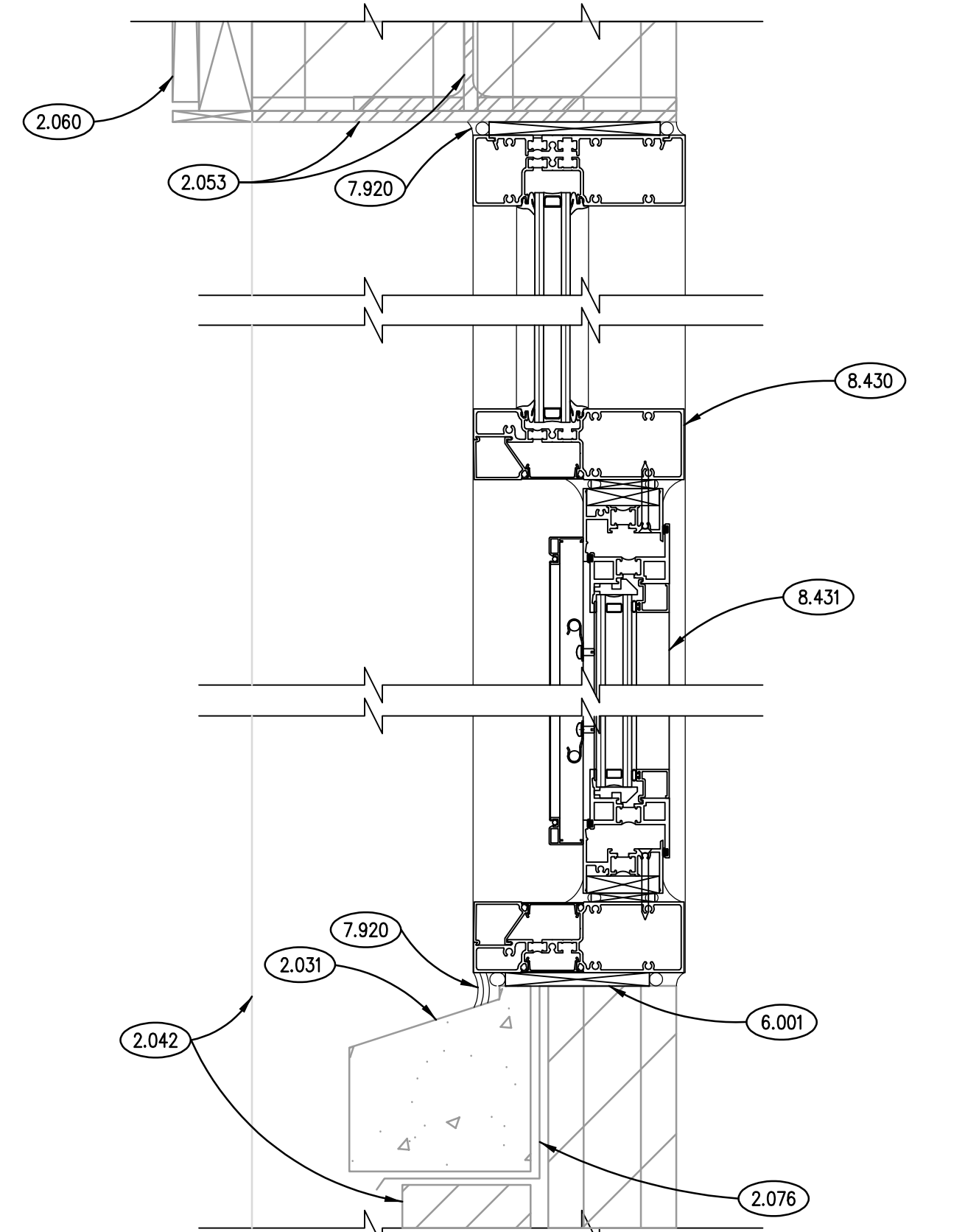
- 2.031 EXISTING CUT STONE SILL.
- 2.034 EXISTING DRYWALL SOFFIT.
- 2.042 EXISTING EXTERIOR MASONRY WALL.
- 2.053 EXISTING STRUCTURAL STEEL LINTEL.
- 2.060 EXISTING EXTERIOR WOOD SIDING.
- 2.076 EXISTING FABRIC FLASHING.
- 2.434 REMOVE EXISTING EXTERIOR WINDOW COMPONENT: SHIMS, SEALANTS.
- 2.435 REMOVE EXISTING EXTERIOR WINDOW: HOLLOW METAL FRAMING, COUNTERFLASHING, GLAZING SYSTEM.
- 6.001 WOOD SHIM: TREATED WOOD; REFER TO SPECIFICATIONS.
- 7.920 JOINT SEALANT: PROVIDE BACKER ROD OR BOND BREAKER; REFER TO SPECIFICATIONS.
- 8.430 ALUMINUM STOREFRONT FRAMING: FIXED; REFER TO SPECIFICATIONS.
- 8.431 ALUMINUM STOREFRONT FRAMING: PROJECT-IN; REFER TO SPECIFICATIONS.

GENERAL NOTES

1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. REFER TO DRAWING A300 FOR FLOOR AND DEMOLITION PLANS.

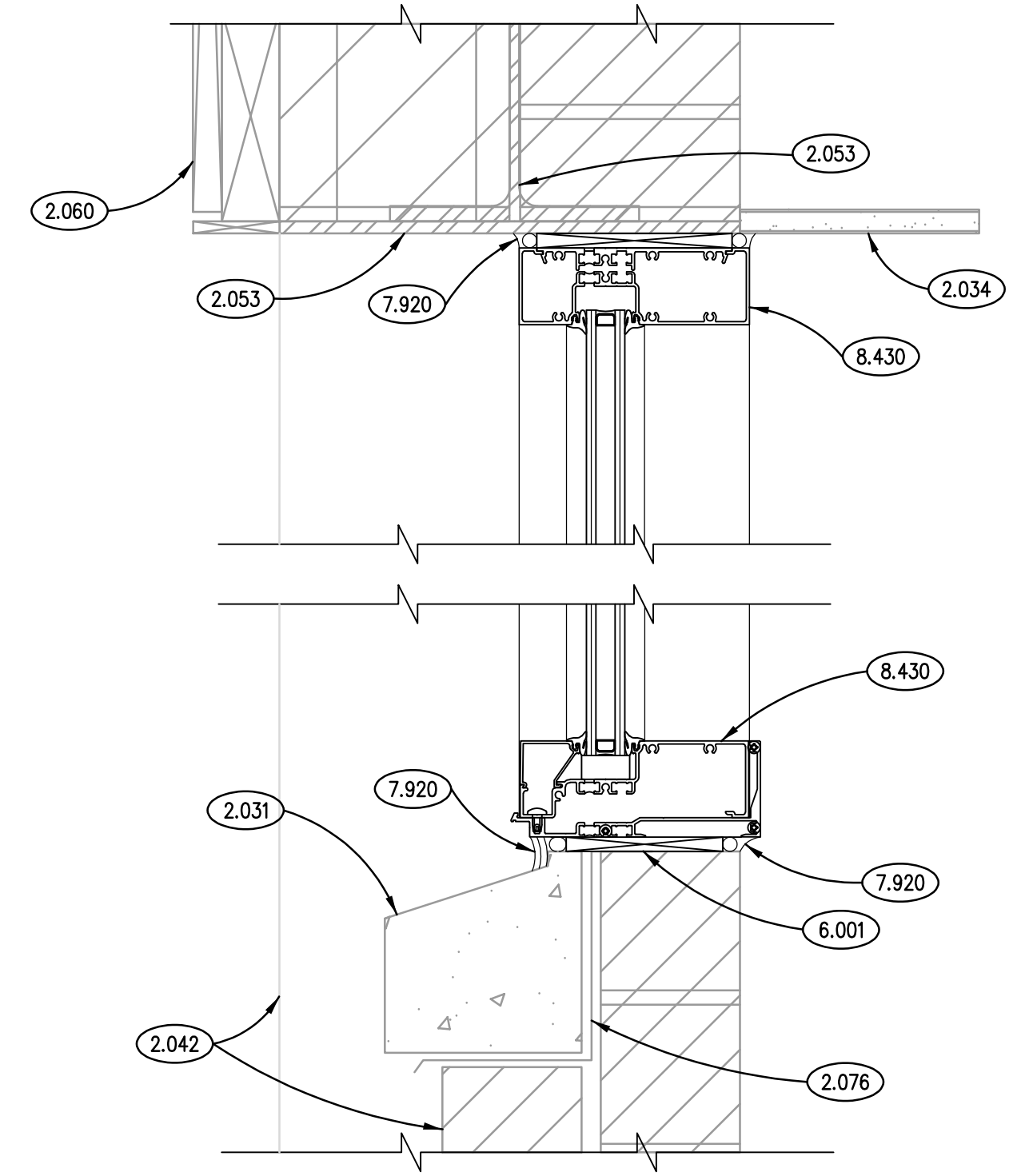
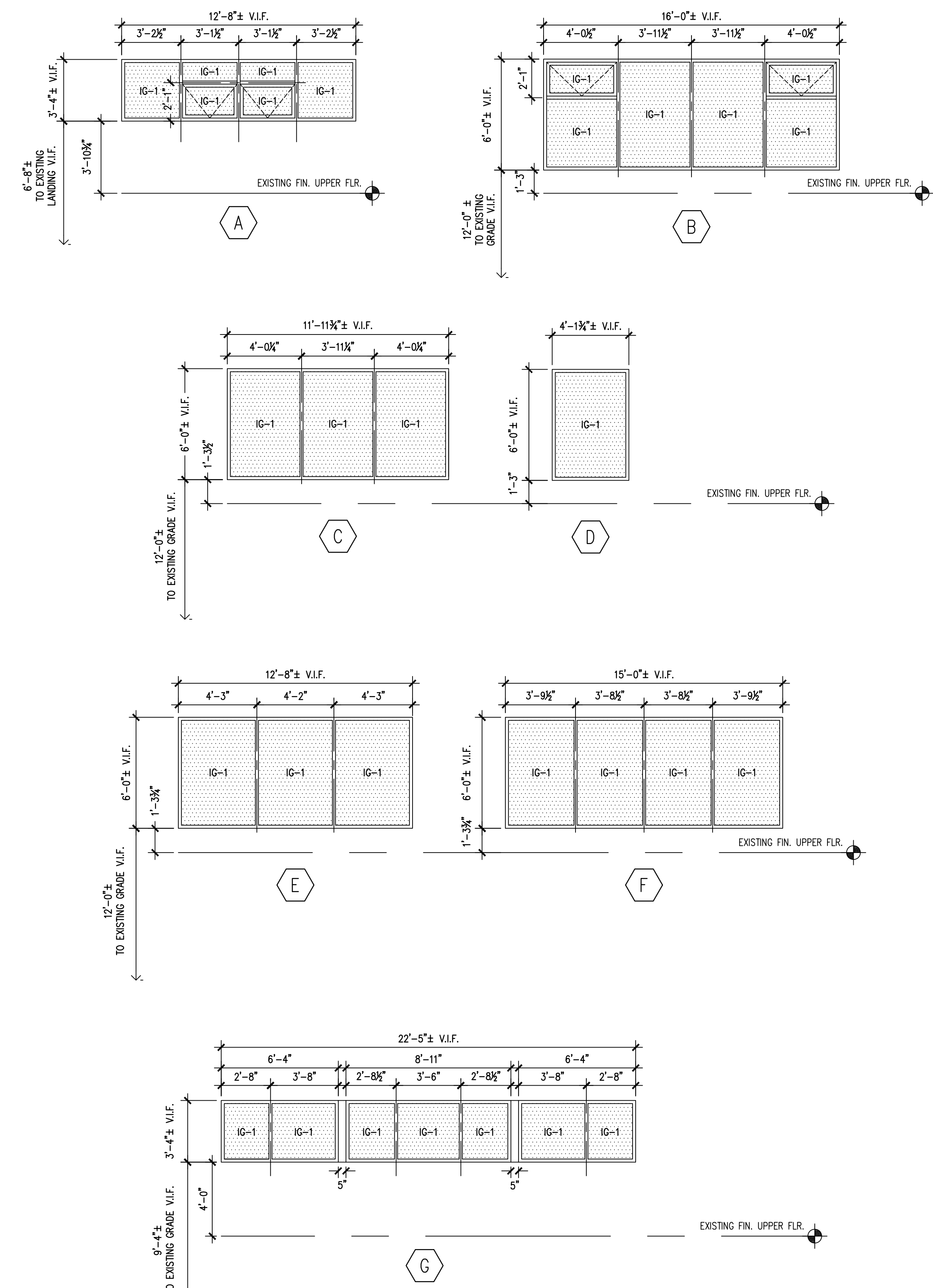


PROJECT-IN HEAD & SILL DETAIL (3B)
SCALE: 3" = 1'-0"

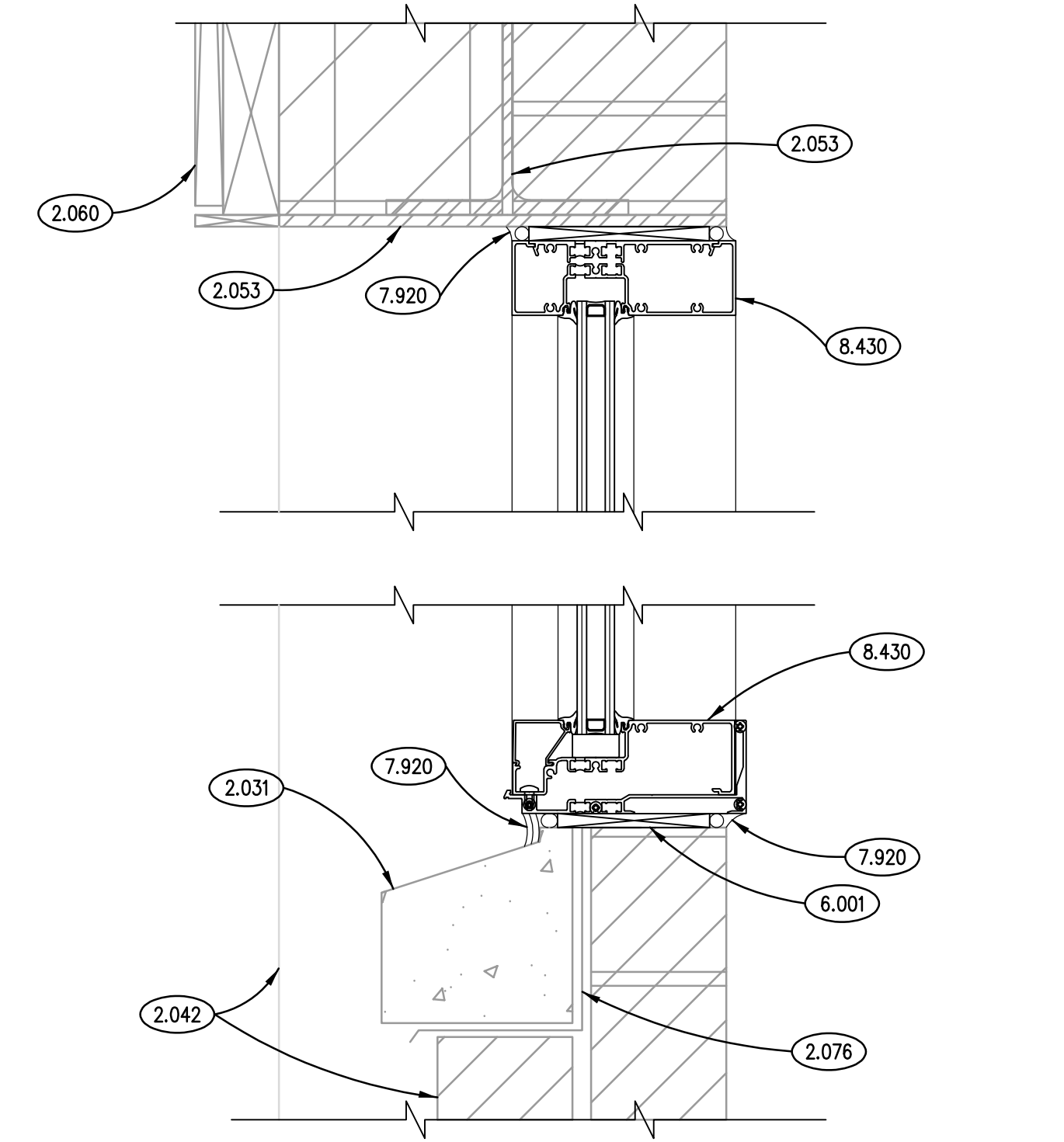


PROJECT-IN HEAD & SILL DETAIL (3A)
SCALE: 3" = 1'-0"

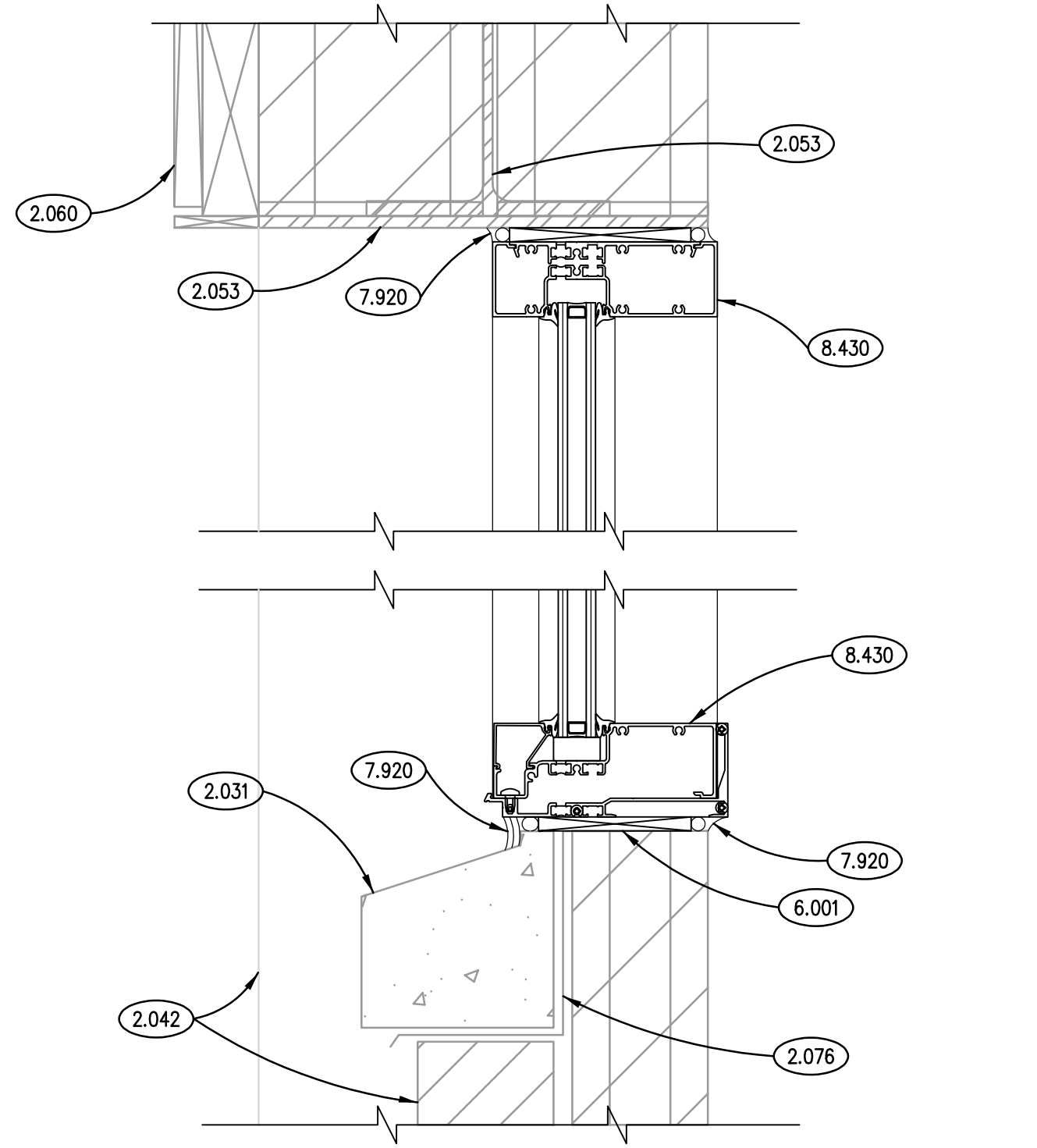
WINDOW TYPES



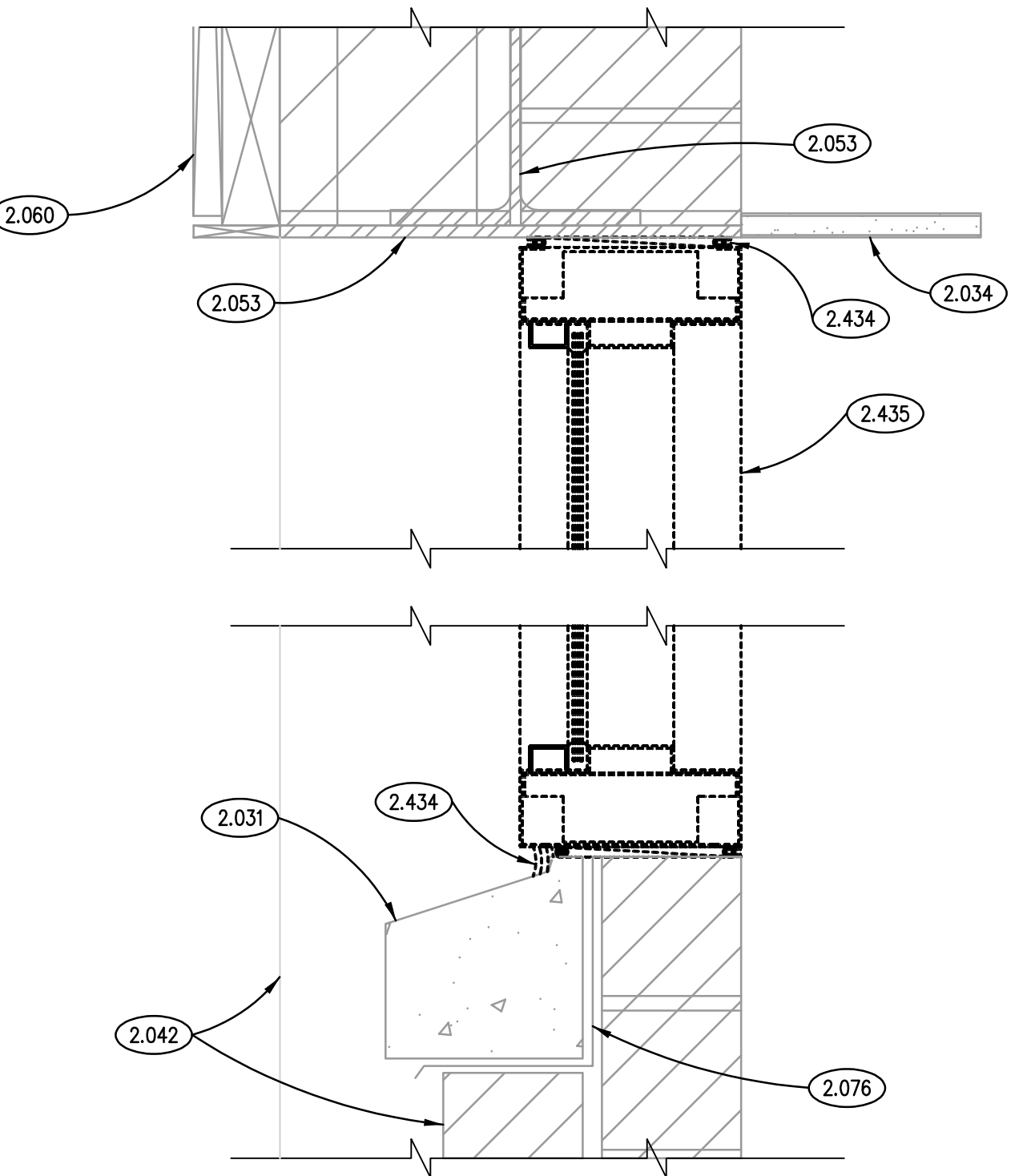
FIXED WINDOW HEAD & SILL DETAIL (2C)
SCALE: 3" = 1'-0"



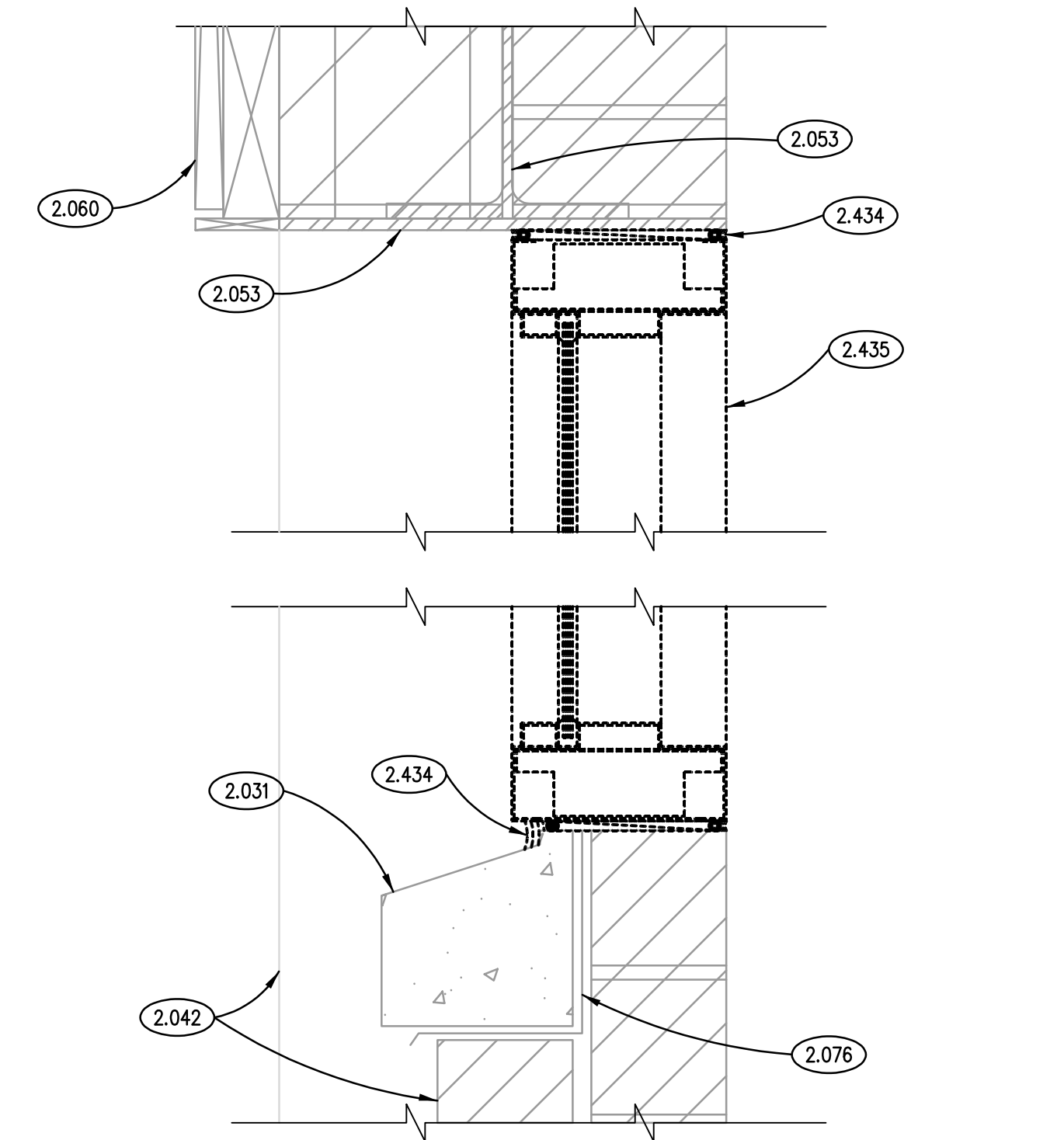
FIXED WINDOW HEAD & SILL DETAIL (2B)
SCALE: 3" = 1'-0"



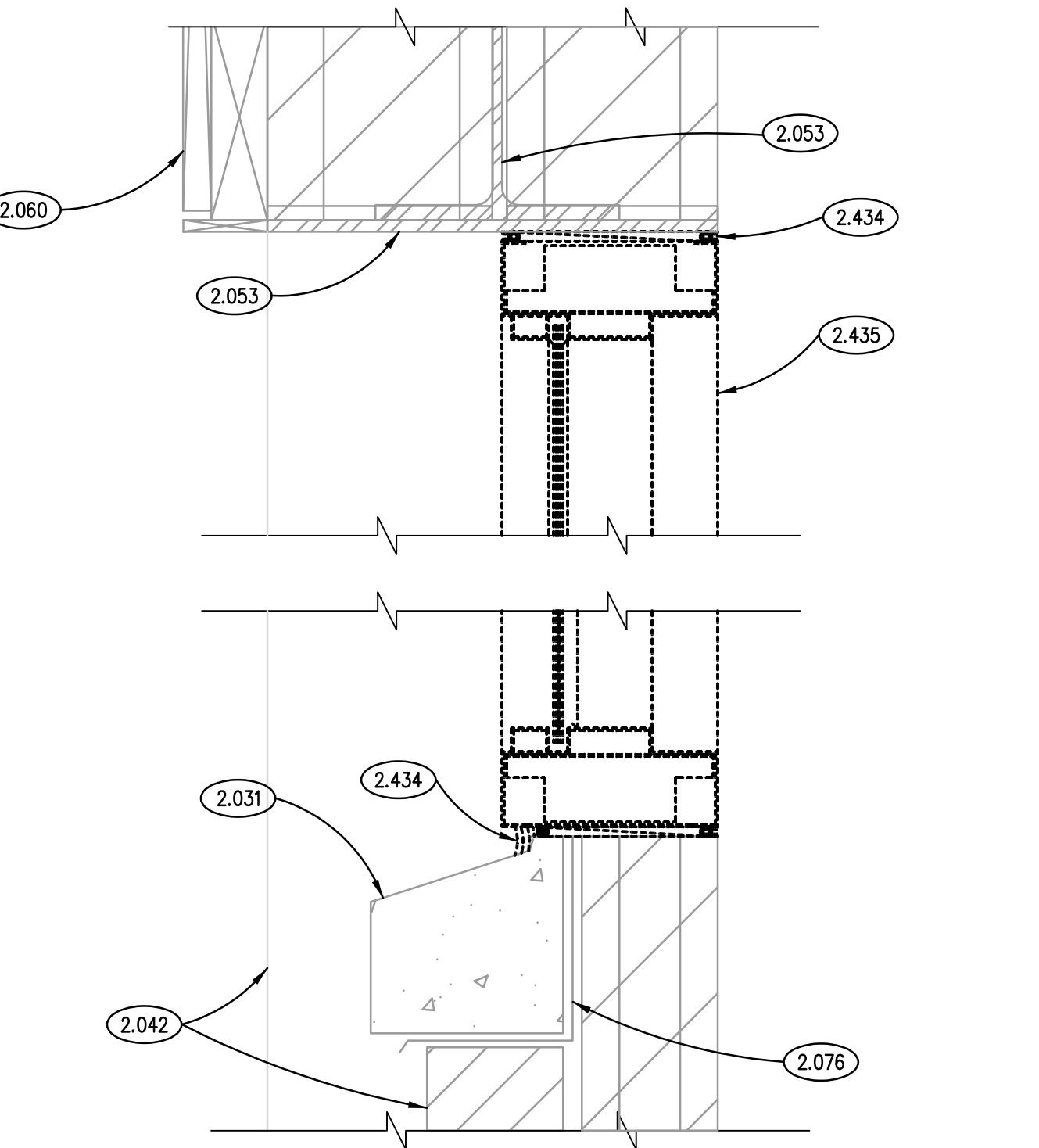
FIXED WINDOW HEAD & SILL DETAIL (2A)
SCALE: 3" = 1'-0"



DEMOLITION WINDOW DETAIL (1C)
SCALE: 3" = 1'-0"



DEMOLITION WINDOW DETAIL (1B)
SCALE: 3" = 1'-0"



DEMOLITION WINDOW DETAIL (1A)
SCALE: 3" = 1'-0"

NOTE: SCALES DEPICTED ON THIS DRAWING ARE NOT CORRECT UNLESS PLOTTED SHEET SIZE IS 30 X 42 INCHES.

ISSUED	
ISSUED FOR BID	
05/2024	

JOB NO.	24-310-1543
DRAWN	NCO
CHECKED	CDJ
APPROVED	CDH

SHEET TITLE
SECTION DETAILS & WINDOW TYPE ELEVATIONS

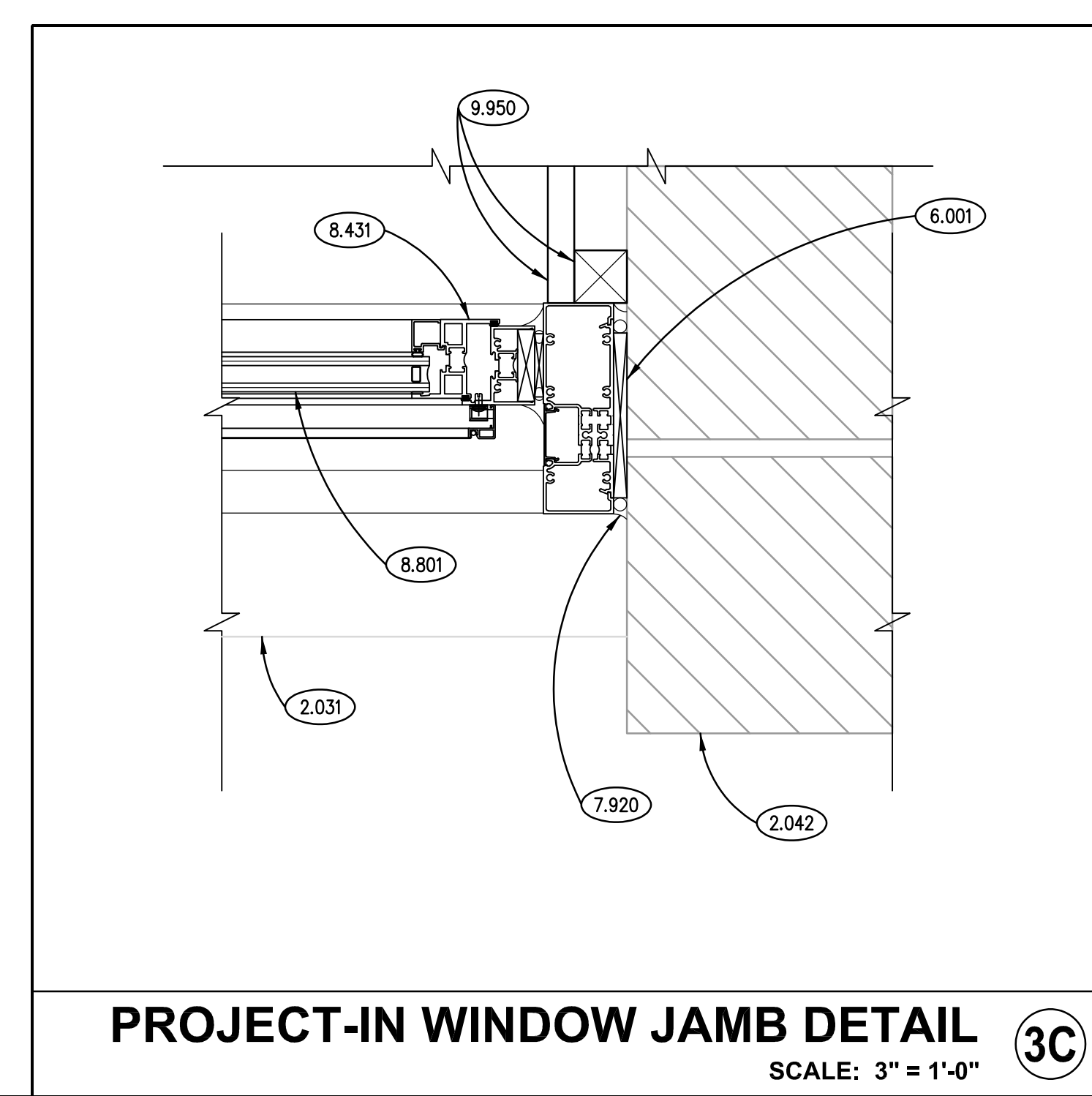
SHEET NUMBER
A700

P:\1543 - Oak Brook Park District - Tennis Center Window Replacement\3D_Design\Drawings\DD-CDD10_Arch\1543A0700.dwg, 5/30/2024, 2:08:15 PM, NCO

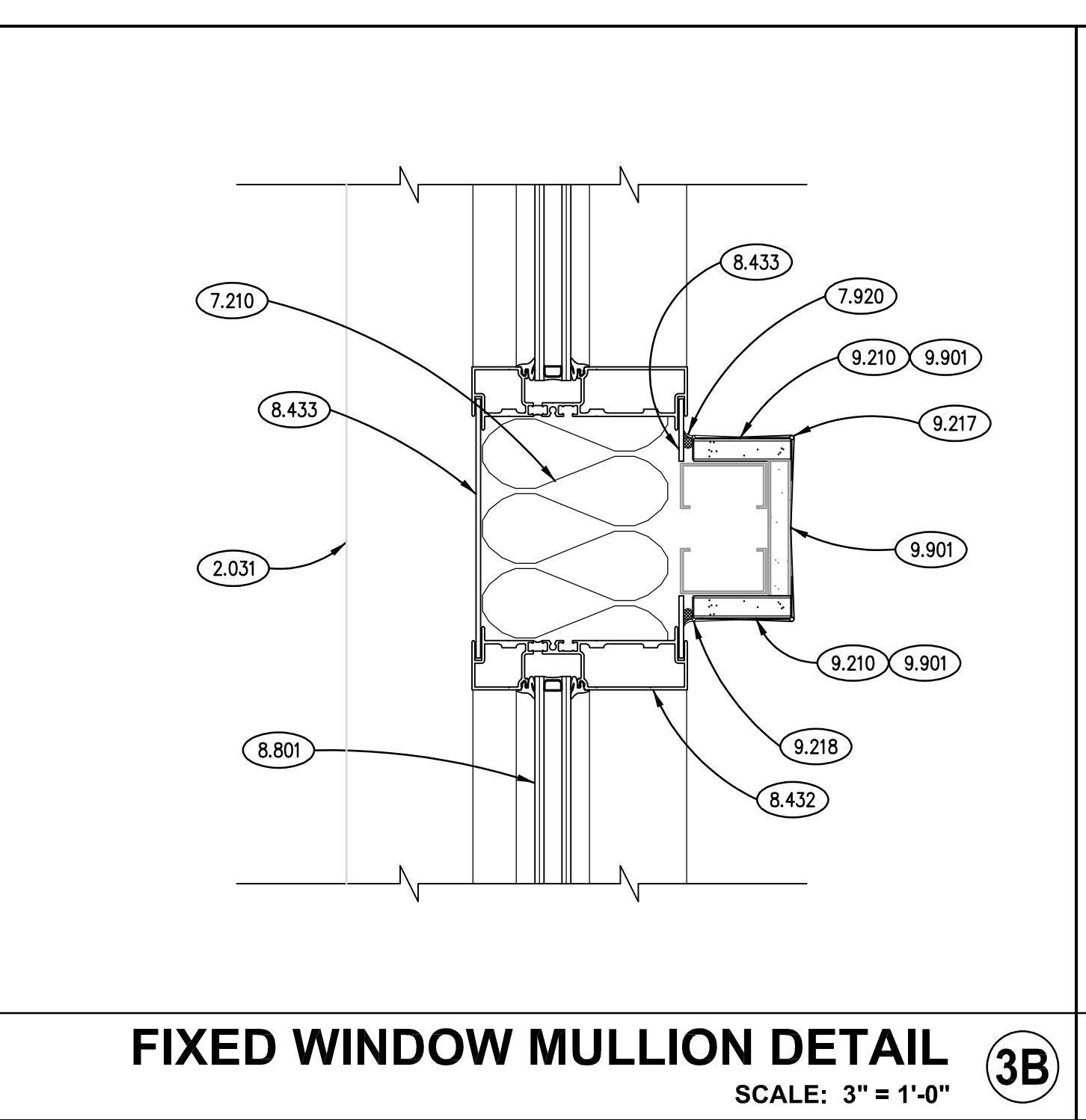
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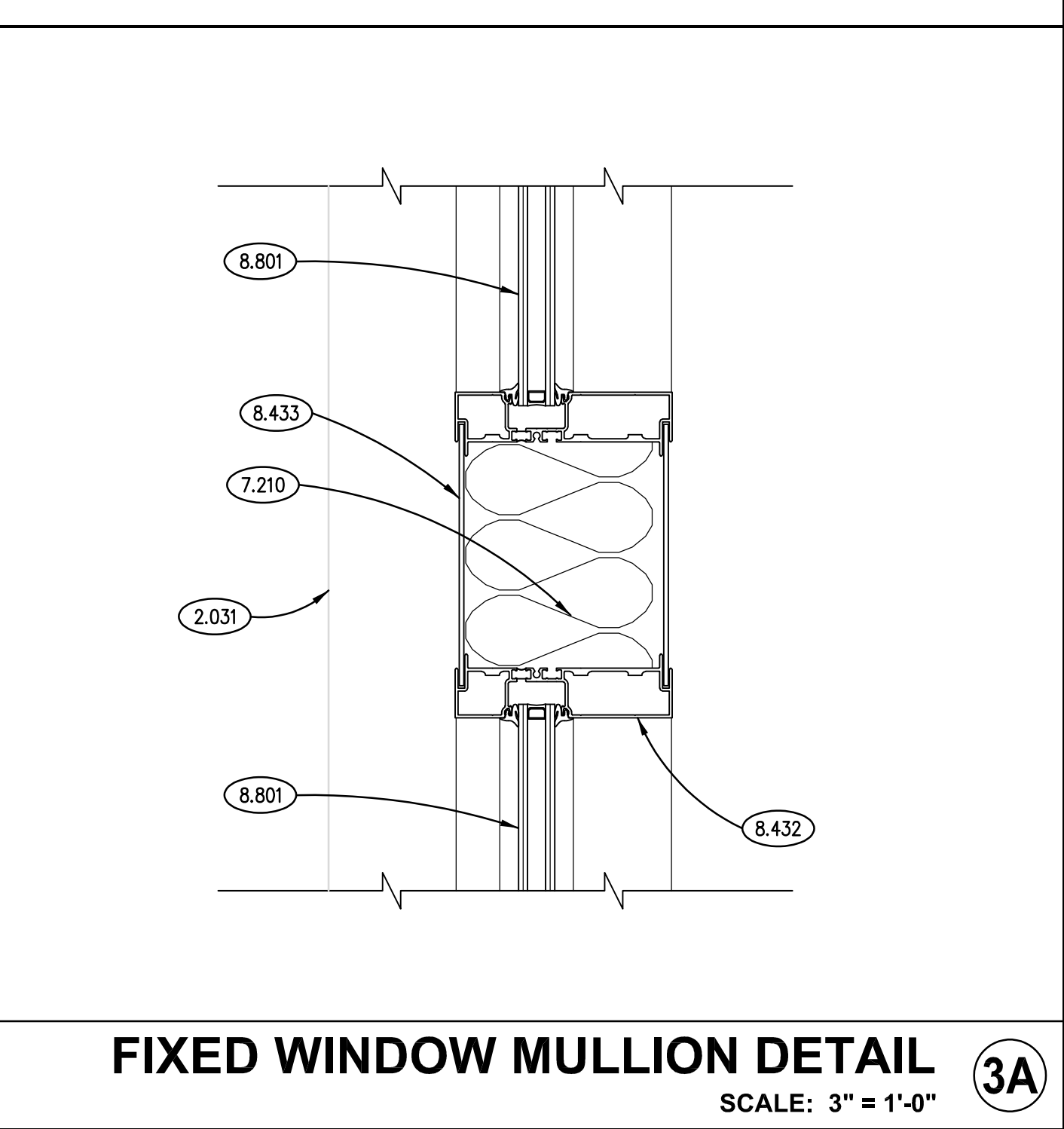
- 2.031 EXISTING CUT STONE SILL.
- 2.033 EXISTING INTERIOR DRYWALL WALL CONSTRUCTION TO REMAIN.
- 2.042 EXISTING EXTERIOR MASONRY WALL.
- 2.432 REMOVE EXISTING 16 GA. GALVALUME STEEL CLOSURE.
- 2.433 REMOVE EXISTING WALL CONSTRUCTION: GYPSUM BOARD.
- 2.435 REMOVE EXISTING EXTERIOR WINDOW: HOLLOW METAL FRAMING; COUNTERFLASHING; GLAZING SYSTEM.
- 2.470 TEMPORARILY REMOVE SLATWALL AND FURRING STRIP AT WINDOW JAMB.
- 2.474 REMOVE EXISTING INTERIOR WALL COMPONENT: CORNER BEAD.
- 2.475 REMOVE EXISTING INTERIOR FLOOR FINISH: VINYL BASE.
- 2.484 REMOVE EXISTING PRECOMPRESSED FOAM SEAL.
- 6.001 WOOD SHIM: TREATED WOOD; REFER TO SPECIFICATIONS.
- 7.210 INSULATION: THERMAL BATT; THICKNESS TO FILL CAVITY; REFER TO SPECIFICATIONS.
- 7.910 PREFORMED JOINT SEALER: REFER TO SPECIFICATIONS.
- 7.920 JOINT SEALANT: PROVIDE BACKER ROD OR BOND BREAKER; REFER TO SPECIFICATIONS.
- 8.430 ALUMINUM STOREFRONT FRAMING: FIXED; REFER TO SPECIFICATIONS.
- 8.431 ALUMINUM STOREFRONT FRAMING: PROJECT-IN; REFER TO SPECIFICATIONS.
- 8.432 ALUMINUM STOREFRONT FRAMING COMPONENT: FEMALE EXPANSION MULLION HALF.
- 8.433 ALUMINUM STOREFRONT FRAMING COMPONENT: 1/8" ALUMINUM BRAKE.
- 8.801 GLAZING: 1" INSULATED SAFETY GLASS; REFER TO SPECIFICATIONS.
- 9.210 GYPSUM BOARD: 5/8" THICK; TYPE "X"; TAPE, SAND, FINISH & PAINT.
- 9.217 GYPSUM BOARD ACCESSORY: CORNER BEAD.
- 9.218 GYPSUM BOARD ACCESSORY: EDGE TRIM; "L" PROFILE.
- 9.901 TAPE, SAND, FINISH & PAINT NEW AND EXISTING GYPSUM BOARD.
- 9.950 REINSTALL SLAT WALL AND FURRING STRIP AT WINDOW JAMB.



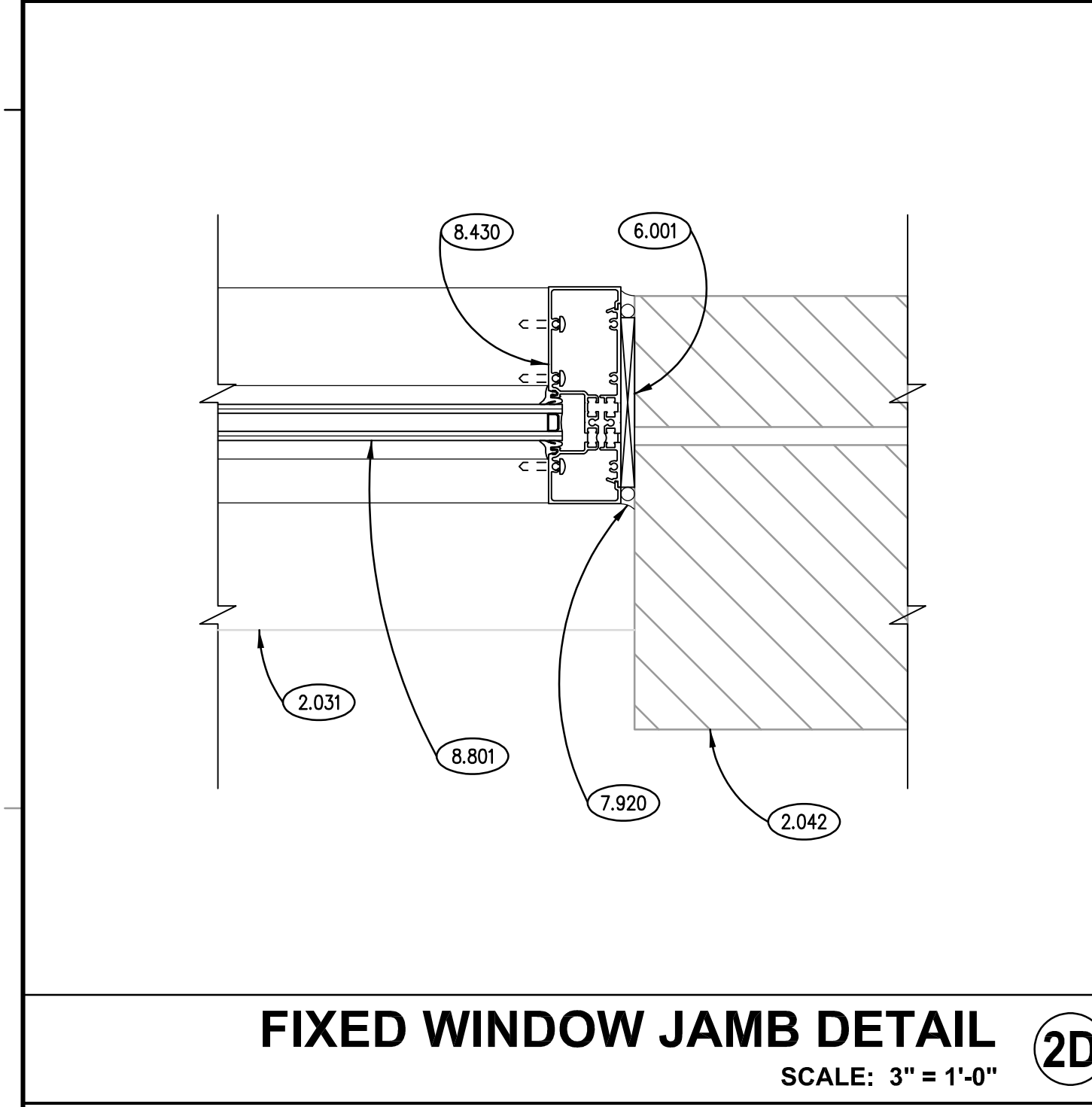
PROJECT-IN WINDOW JAMB DETAIL 3C
SCALE: 3" = 1'-0"



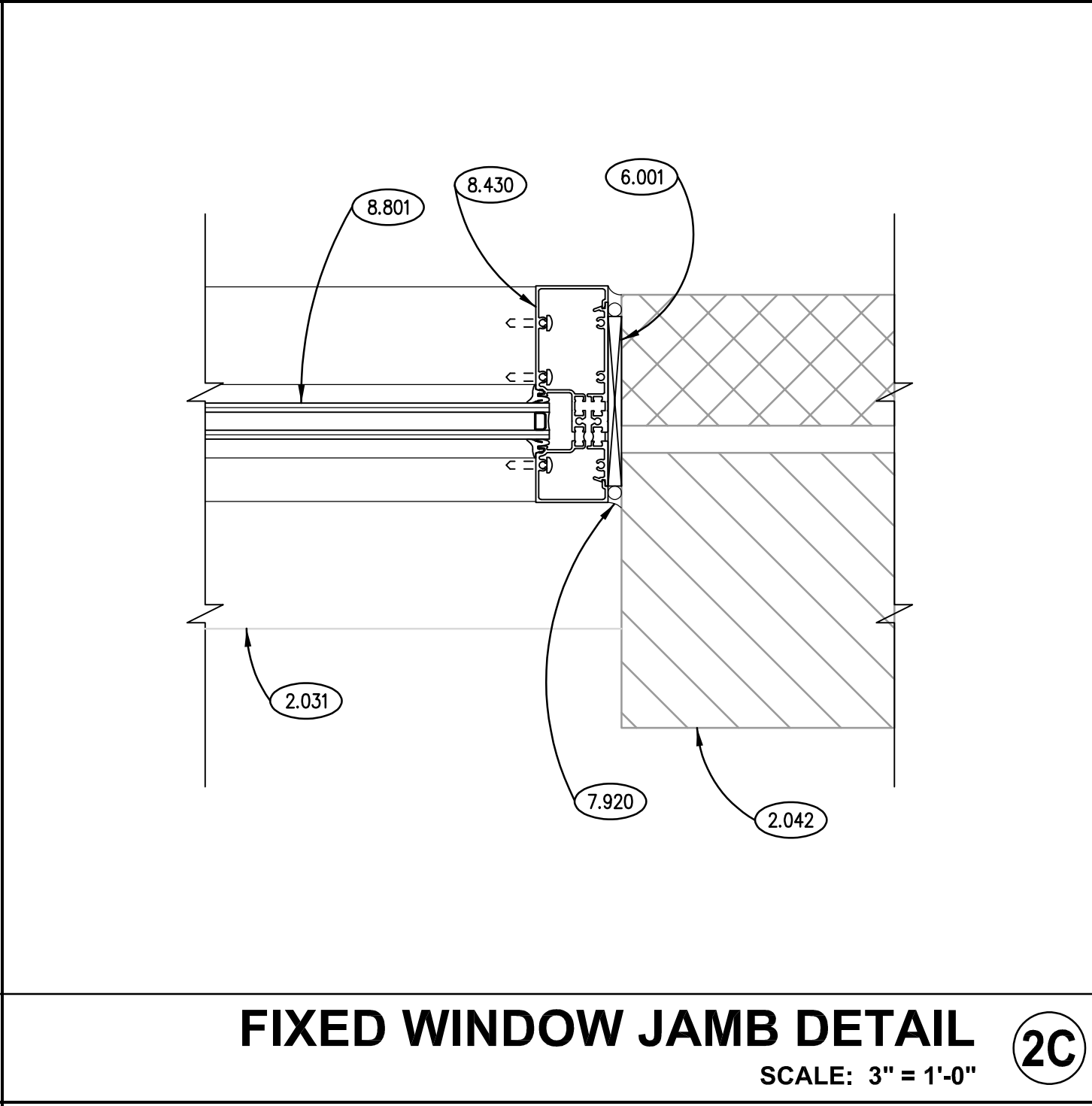
FIXED WINDOW MULLION DETAIL 3B
SCALE: 3" = 1'-0"



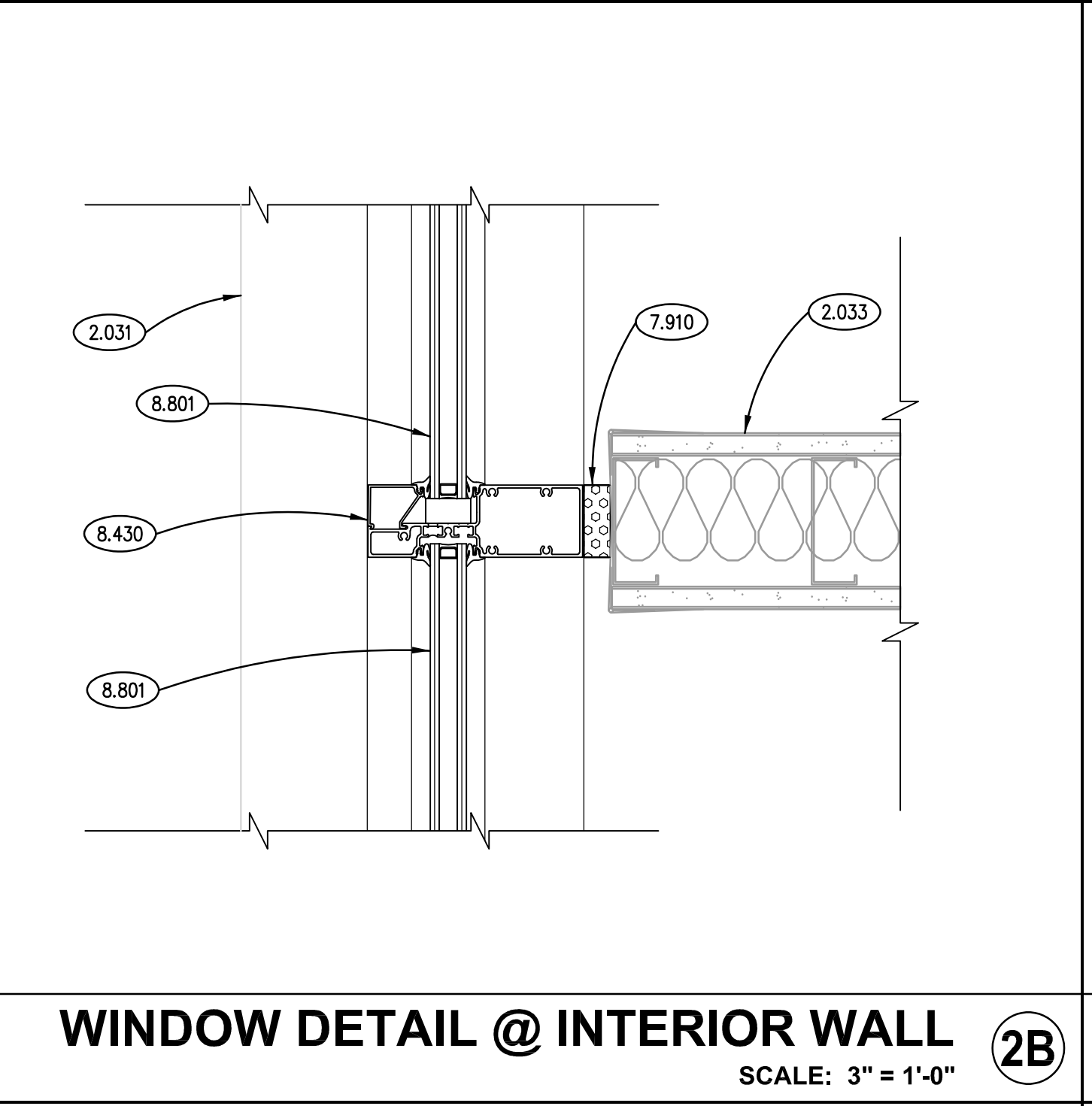
FIXED WINDOW MULLION DETAIL 3A
SCALE: 3" = 1'-0"



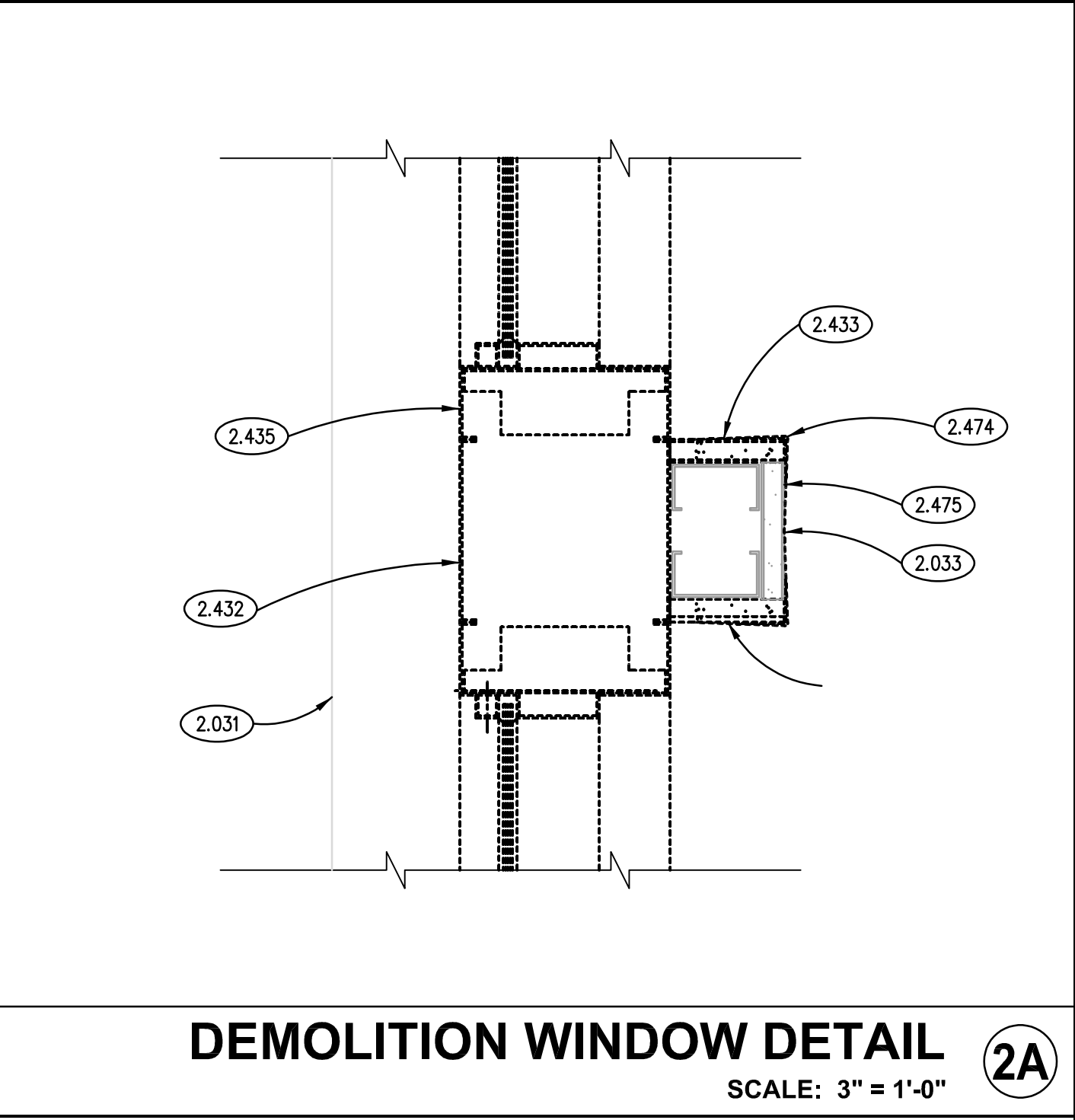
FIXED WINDOW JAMB DETAIL 2D
SCALE: 3" = 1'-0"



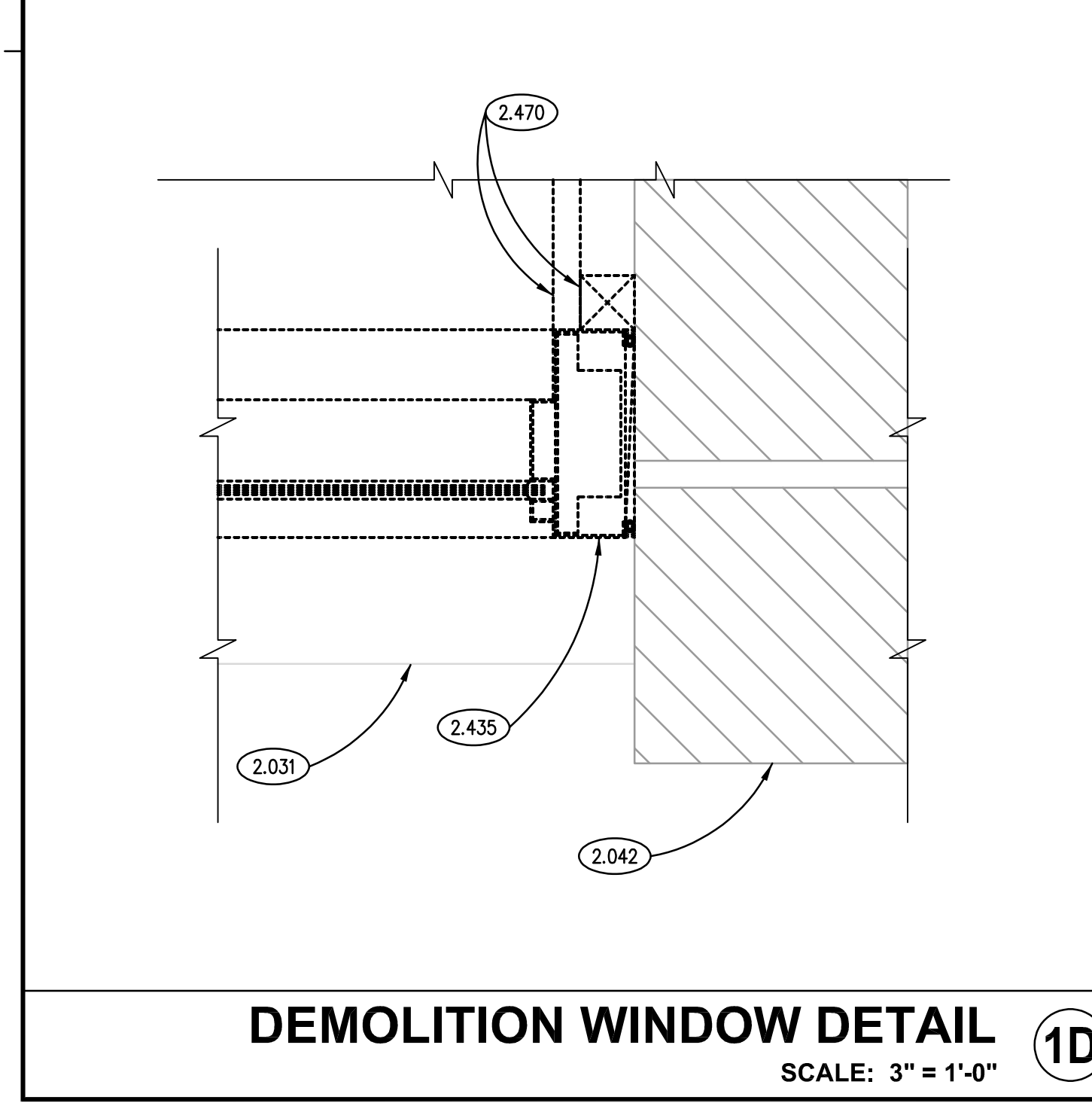
FIXED WINDOW JAMB DETAIL 2C
SCALE: 3" = 1'-0"



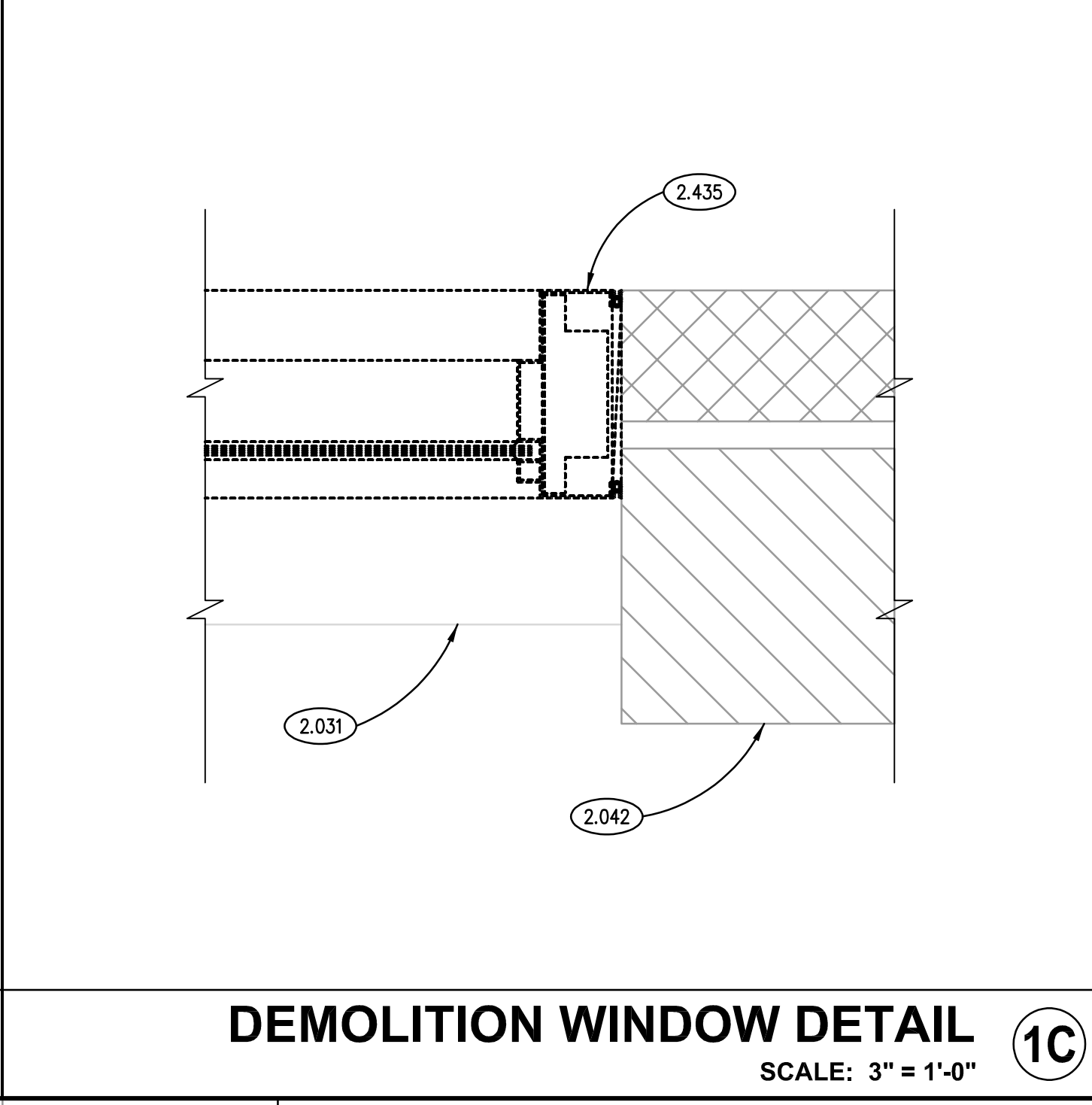
WINDOW DETAIL @ INTERIOR WALL 2B
SCALE: 3" = 1'-0"



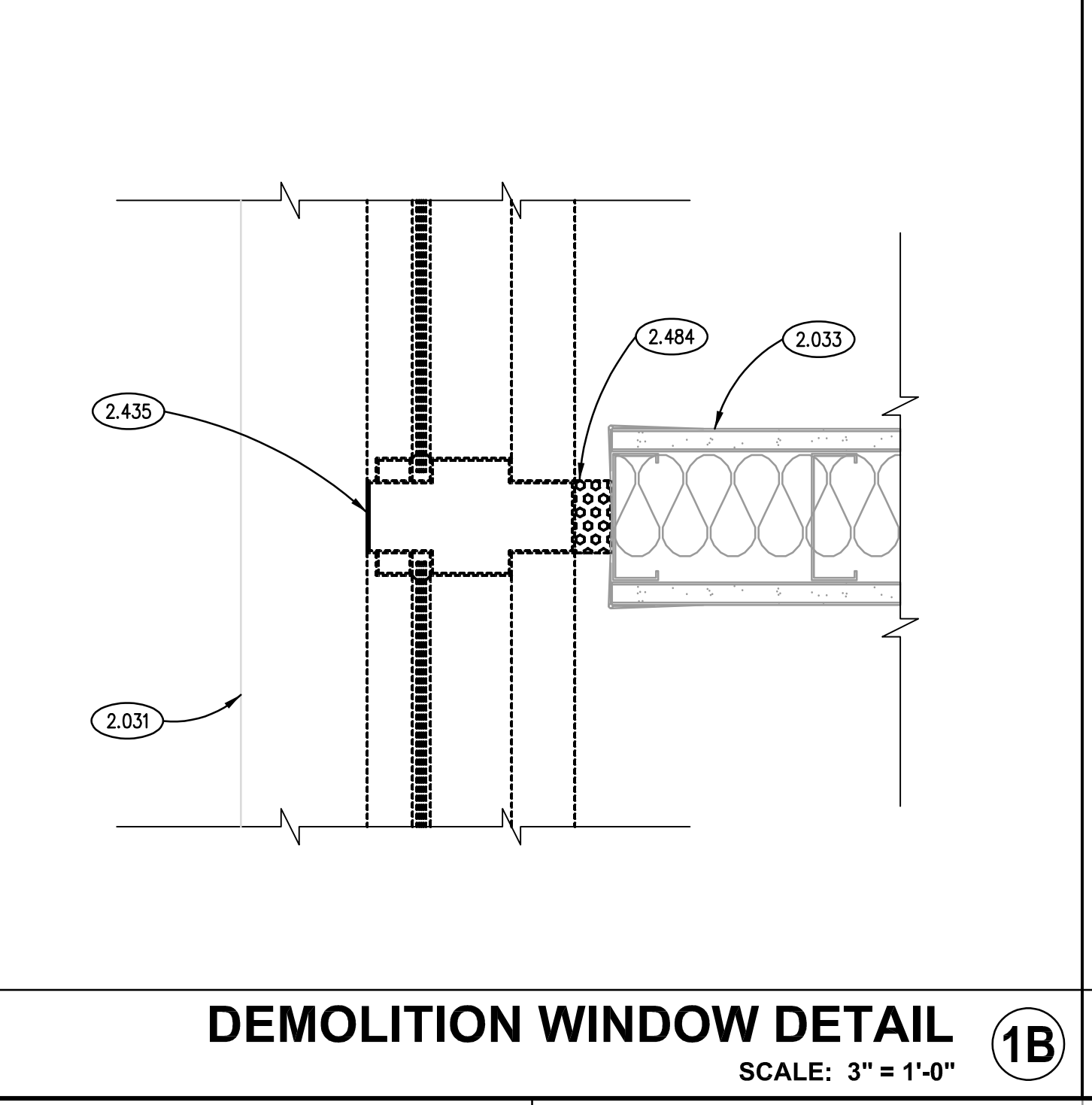
DEMOLITION WINDOW DETAIL 2A
SCALE: 3" = 1'-0"



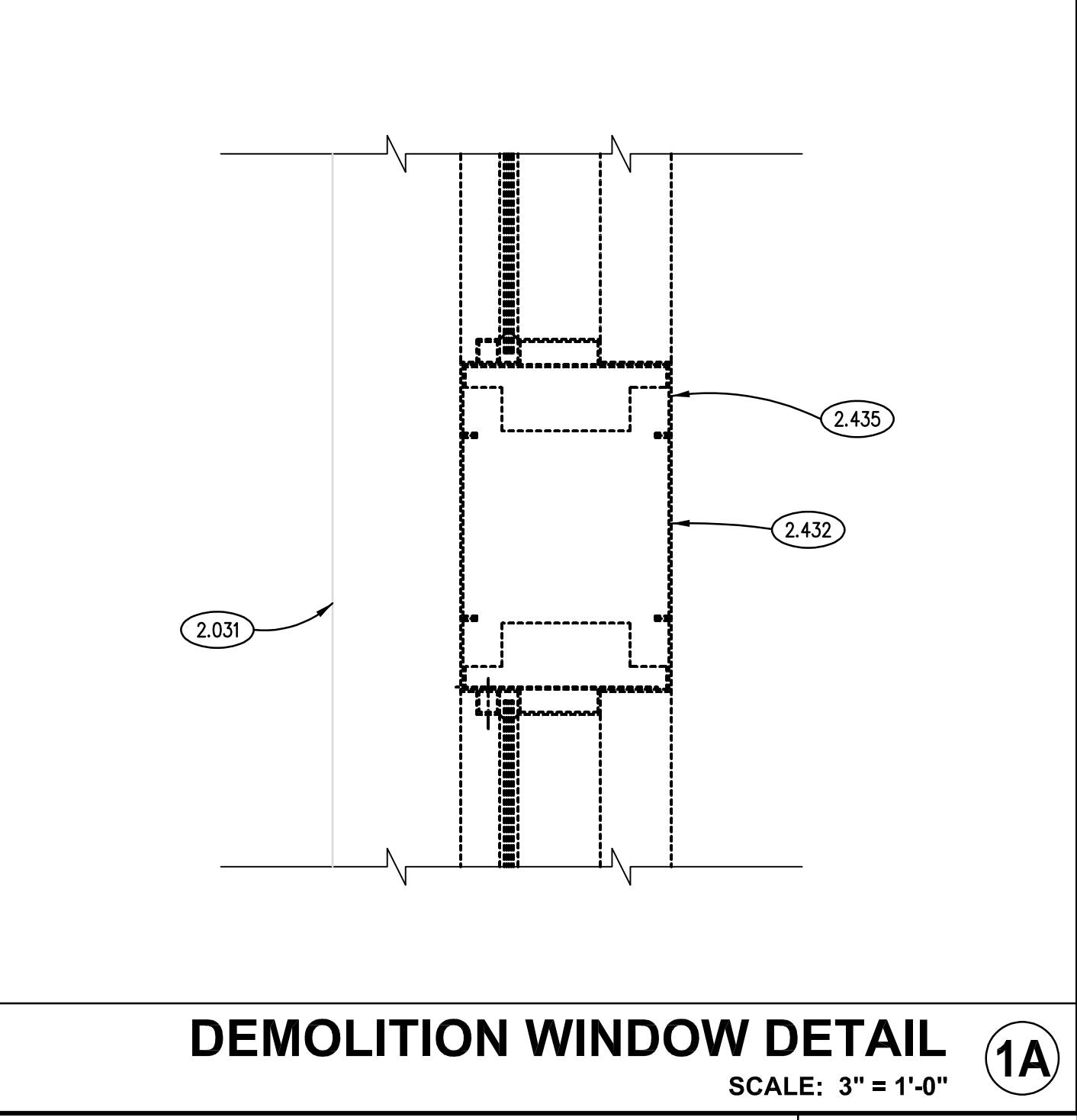
DEMOLITION WINDOW DETAIL 1D
SCALE: 3" = 1'-0"



DEMOLITION WINDOW DETAIL 1C
SCALE: 3" = 1'-0"



DEMOLITION WINDOW DETAIL 1B
SCALE: 3" = 1'-0"



DEMOLITION WINDOW DETAIL 1A
SCALE: 3" = 1'-0"

GENERAL NOTES

1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. REFER TO DRAWING A300 FOR FLOOR AND DEMOLITION PLANS.

ISSUED	
ISSUED FOR BID	
05/20/24	

JOB NO.	24-310-1543
DRAWN	NCO
CHECKED	CDJ
APPROVED	CDH

SHEET TITLE
PLAN DETAILS

SHEET NUMBER

A710